



**ALEXANDER PARK**  
ESTATE  
DIGGERS REST

Dear residents of Alexander Park Estate,

We are very excited to see your home come to life and join the community. To ensure that design merit is maintained for facades and front gardens, Spiire has created Design Guidelines for our residents to follow.

Builders must submit all plans to [marlexdrp@gmail.com](mailto:marlexdrp@gmail.com) to be assessed by our Design Review Panel before applying for any permits. There is one fixed invoice of \$176 that covers all assessment processes and any reapprovals.

Kindest regards,  
Marlex Properties



## HOUSING DESIGN GUIDELINES

140 DIGGERS REST-COIMADAI ROAD, DIGGERS REST  
SEPTEMBER 2020



**MELTON PLANNING SCHEME**  
This is the amended plan referred to in  
Planning Permit No. PA2015/4850  
Plan 1 of 28

**Kari Wheeler**  
Signature of Responsible Authority  
Date 29 September 2020

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**MELTON PLANNING SCHEME**  
This is the amended plan referred to in  
Planning Permit No. PA2015/4850  
Plan 2 of 28

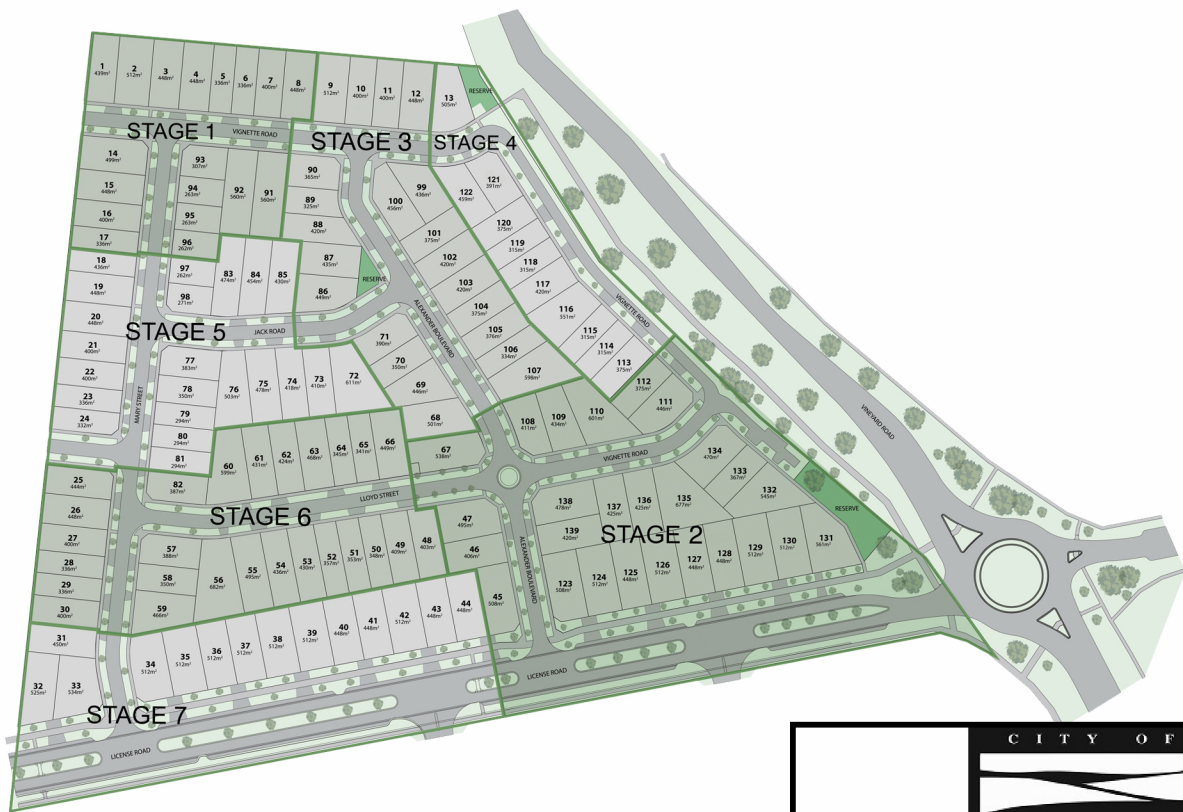
**Kari Wheeler**  
Signature of Responsible Authority  
Date 29 September 2020

# 01 INTRODUCTION

These Housing Design Guidelines have been prepared for the residential estate at 62 Diggers Rest-Coimadai Road, Diggers Rest.

The Guidelines will provide home owners and house builders with clear guidance and certainty on the development standards of the estate.

These Guidelines have been prepared in response to the requirements set out in the Diggers Rest Precinct Structure Plan.



Masterplan

CITY OF



**MELTON**

**MELTON PLANNING SCHEME**

This is the amended plan referred to in  
 Planning Permit No. PA2015/4850  
 Plan 3 of 28

**Kari Wheeler**  
 Signature of Responsible Authority  
 Date 29 September 2020

## 02 DEVELOPMENT VISION

The Residential Estate will form a high quality living environment where residents take pride in their homes, gardens and surrounding environment. The housing within the Estate will be defined by high quality finishes, superior presentation and good quality housing. The Estate will be a walkable and connected community that integrates seamlessly with the surrounding neighbourhoods.

Streetscapes with high levels of presentation will be provided throughout the Estate to create an attractive and well-maintained natural environment.

The Estate will provide a quality lifestyle with good access to parks, activity centres and wetland reserves. High quality and clear connections are provided to the Diggers Rest town centre, schools, train station and surrounding community to ensure the residents of the Estate can move easily from their home to their desired location.



# 03 PURPOSE OF THE GUIDELINES

## 3.1 OVERVIEW

The aim of the Housing Design Guidelines is to provide a high quality residential development that is attractive to occupiers and visitors. The objectives include:

- ▶ To achieve a high quality residential development that has a high standard of amenity with safe and appropriate access;
- ▶ To ensure appropriate landscaping; and
- ▶ To ensure adequate provision for traffic access and car parking.

The requirements and standards outlined in this document have been prepared to provide home owners and builders:

- ▶ Guidance on what the developer's standards are for the development to ensure it is in line with Council's expectations;
- ▶ A framework for materials, siting, setbacks and built form parameters to ensure there is general consistency and to start establishing neighbourhood character and cohesiveness; and
- ▶ The Guidelines may be amended at the developer's discretion to reflect changes in design and building trends and amendments to legislation affecting building approvals.

The Guidelines will cover the following parameters:

- ▶ Dwelling siting;
- ▶ Dwelling design;
- ▶ Landscaping, driveways and fencing;
- ▶ Sustainable design; and
- ▶ Additional building and ancillary uses.

Whilst care has been taken to ensure that the Guidelines comply with current building legislation, it remains the responsibility of the owner to ensure compliance with all statutory requirements are met.



### 3.2 HOW TO USE THE GUIDELINES

The Design Guidelines are structured to cover a broad range of housing design, siting and landscaping considerations. All developments must respond to and achieve the relevant standards outlined by the Guidelines. It is recommended that each requirement is carefully considered when designing your new home.

All building designs are required to comply with the architectural character described and illustrated throughout this document.

### 3.3 SUBMISSION REQUIREMENTS AND DEVELOPER APPROVAL PROCESS

The siting and design of homes is required to be approved by the Design Review Panel before obtaining building permits. It is mandatory that all plans and other relevant drawings are submitted to the Design Review Panel for approval. To obtain approval, you must forward the Application for Design Approval Form and Checklist (found in the appendices of this document) with copies of the documentation listed on the form for approval to the Developer's Design Reviewer.

The Application for Design Approval Form must accompany the documentation listed on the form. Documents must be submitted in pdf format, with the subject of the email to include the lot number and street name. The submission must include all the items specified in the Application for Design Approval Form and Checklist found in the Appendices of this document.

The Design Reviewer will use their best endeavors to assess proposals in the shortest possible time which will generally be within 10–14 business days from the receipt of a fully completed and compliant application. You must then obtain the approval of the building plans from the local Council or relevant Building Surveyor and/or any other relevant authorities required by the authority approval process. It is the responsibility of the owner that the proposed building works comply with local, state and ResCode requirements. Neither the Design Reviewer nor the developer accepts responsibility for works that don't comply.



The following steps illustrate the process for each purchaser in order to build a home in the estate.



## STEP 1

### DECIDE ON YOUR HOME

With your builder or developer, make sure your home design complies with the Building Design Guidelines set out in this document.



## STEP 2

### PREPARE YOUR PLANS

Prepare your Design Approval Submission Package, making sure you have included all the required details and documents. Use the checklist at the back of this document as a guide.



## STEP 3

Submit your Design Package to the Design Reviewer.



## STEP 4

**DESIGN, REVIEW AND APPROVAL**  
The Design Reviewer will assess the submitted Design Package. At this point you will be contacted if any elements need to be resubmitted due to non-compliance. Planning approval from Council may be required.



## STEP 5

### BUILDING PERMIT

Following design review approval the purchaser will obtain a building permit.



## STEP 6

### CONSTRUCTION

After receiving your permit you can proceed with the construction of your new home.



## STEP 7

### CERTIFICATE OF OCCUPANCY

Following construction a certificate of occupancy must be sought prior to occupation.





### 3.4 THE APPROVAL PROCESS

A maximum of one dwelling is permitted per allotment. All dwelling designs are required to comply with Clause 54 of the Melton Planning Scheme. Building designs must also comply with the Building Regulations of Victoria which will be assessed by your building surveyor.

### 3.5 RESTRICTION ON TITLE

These design guidelines will be referenced in a restriction on the title for the lot you have purchased.

### 3.6 STATUTORY OBLIGATIONS

It is the responsibility of the purchaser to ensure that, in addition to meeting the design guidelines and covenants, that all submitted design documents comply with the National Construction Code, ResCode and all other planning and authority requirements.

Endorsement by the Design Review Panel does not warrant or imply that your building design complies with the Melton Planning Scheme or Building Regulations of Victoria.



# 04 DWELLING SITING

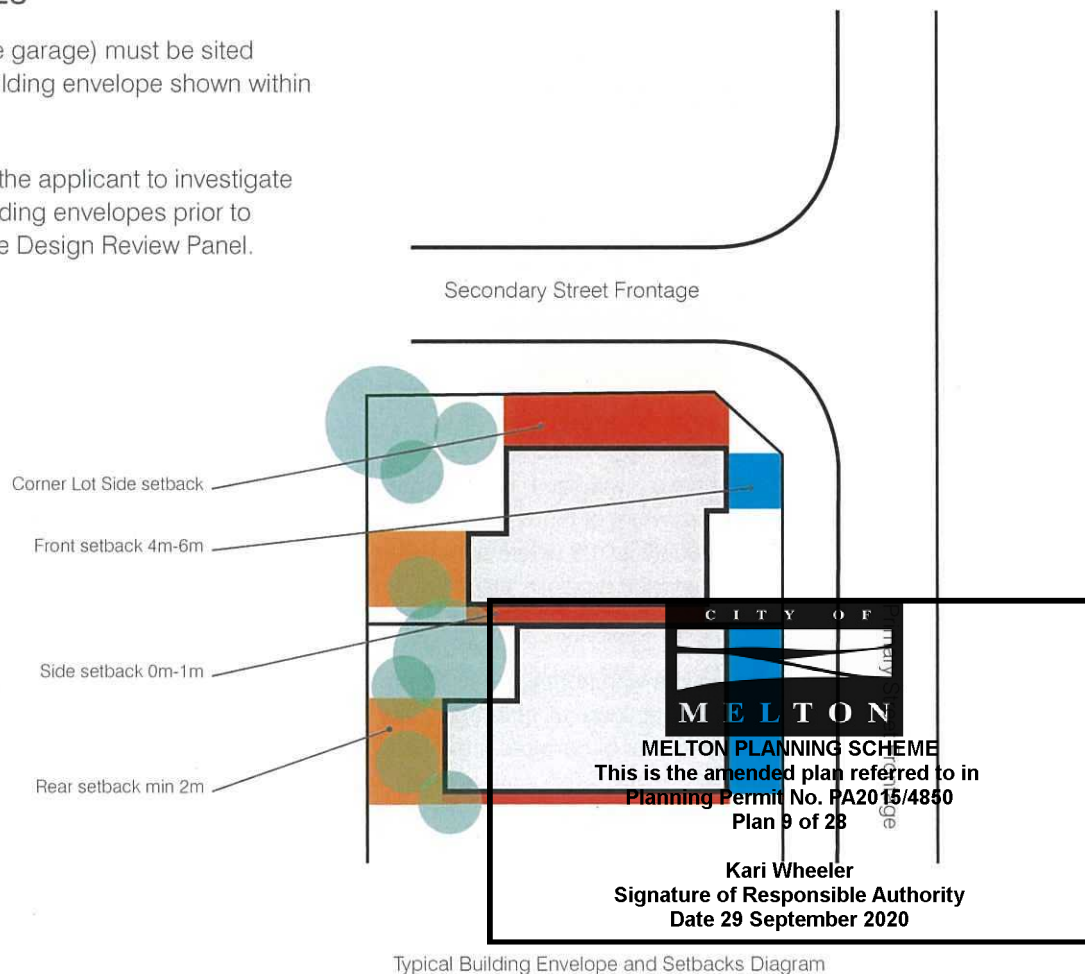
## 4.1 SITING OF RESIDENCE

Careful siting of houses and garages is important for a number of reasons, including the following:

1. Ensuring the best visual presentation of the dwelling from the street.
2. Maximising the benefits of solar access and passive solar design.
3. Promoting energy efficiency.
4. Minimising overlooking.
5. Respecting the privacy and amenity of neighbours.

## 4.2 BUILDING ENVELOPES

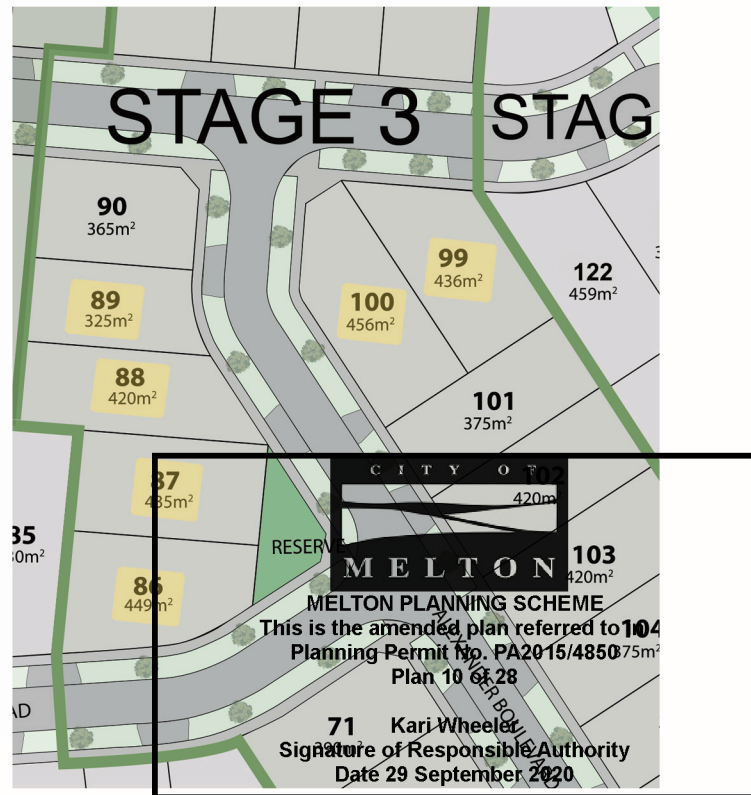
1. The house (including the garage) must be sited within the nominated building envelope shown within the restriction of title.
2. It is the responsibility of the applicant to investigate the existence of any building envelopes prior to design submission to the Design Review Panel.



### 4.3 STANDARD LOTS (OVER 300SQM)

1. Homes must face the front boundary and present an identifiable entrance to the street.
2. Dwellings must have a minimum front setback of 4m unless otherwise approved by the Design Review Panel.
3. Porches, porticos and verandas less than 3.6m in height should be provided and may encroach no more than 1m into the minimum front setback.
4. Side setbacks are to be in accordance with ResCode and/or any other requirements of Melton City Council.
5. Rear setbacks to be a minimum of 2m.
6. Eaves, fascias, gutters, chimneys, flue pipes, water tanks and heating or cooling or other services may encroach no more than 0.5m into the setback around the whole dwelling excluding garage and walls on the boundary.
7. Double and single storey dwellings on lots with frontages less than 18m, must be setback from side boundaries in accordance with ResCode.
8. Single storey dwellings with a frontage of 18m or greater must be setback from side boundaries by a minimum of 1m.
9. Easements at the rear or side of lots cannot be built over.
10. Dwellings must have a minimum front setback of 4.0m and a maximum of 6.0m. (Except in the case of Lots 86-89,99 & 100 where a variation to maximum front setback distance are permitted if approved by the Design Review Panel).
11. For dwellings on lots with frontages of 20m and greater (except corner lots), all side boundary setbacks including that of garages must be a minimum of 1m.

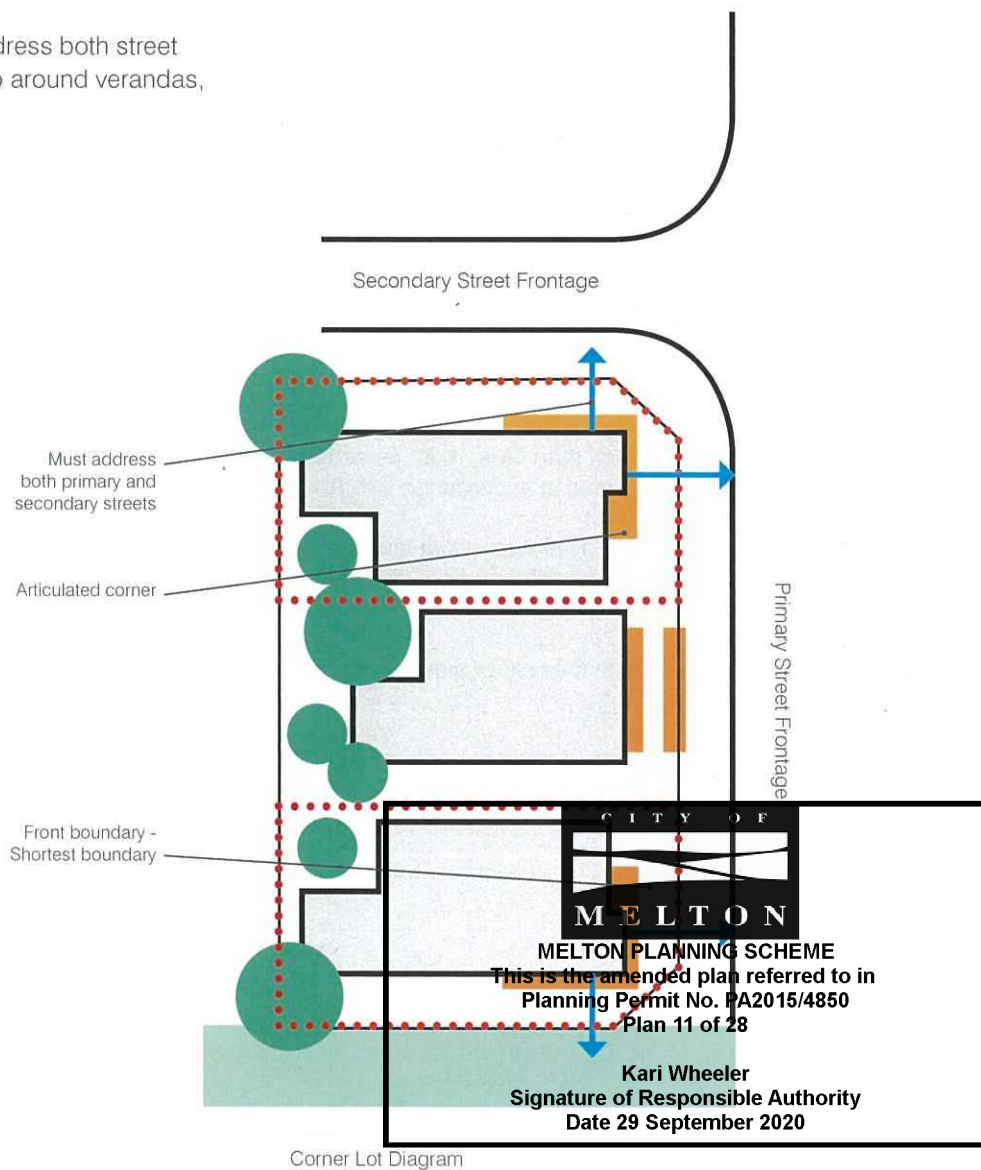
Lots 86,87,88,89,99 & 100 variations to front setback permitted provided approval from the Design Review Panel.



Lots 86-89,99,100

#### 4.4 CORNER LOTS OVER 300SQM

1. Homes must face the front boundary (shortest boundary on corner lots) and present an entrance to the street.
2. Dwellings must have a minimum front setback of 4.0m and a maximum of 6.0m.
3. Porches, porticos and verandahs less than 3.6m in height are encouraged and may encroach up to 1m into the minimum front setback.
4. Setbacks from secondary frontage must be a minimum of 2m..
5. Dwellings on corner lots must address both street frontages through the use of wrap around verandas, feature windowing, detailing etc.



#### 4.5 LOTS LESS THAN 300SQM

1. Homes less than 300sqm must comply with the Small Lot Housing Code. A planning permit is required for any proposal which does not comply with the Small Lot Housing Code.
2. Dwellings must be setback from side and rear boundaries in accordance with the Small Lot Housing Code incorporated into the Melton Planning Scheme.
3. In addition to the requirements set out in the Small Lot Housing Code, the following conditions apply:
  - ▶ Homes must face the front the boundary (shortest boundary on corner lots) and present an identifiable entrance to the street.
  - ▶ Frontages must be articulated to provide visual interest.
  - ▶ Porches, porticos and verandas less than 3.6m in height should be provided and may encroach no more than 1m into the minimum front setback.
  - ▶ Rear and side setbacks must comply with the Small Lot Housing Code.
  - ▶ Double and single storey dwellings on lots with frontages less than 18m, must be setback from side boundaries in accordance with ResCode.
  - ▶ Single storey dwellings with a frontage of 18m or greater must be setback from side boundaries by a minimum of 1m.
  - ▶ Easements at the rear or side of lots cannot be built over.

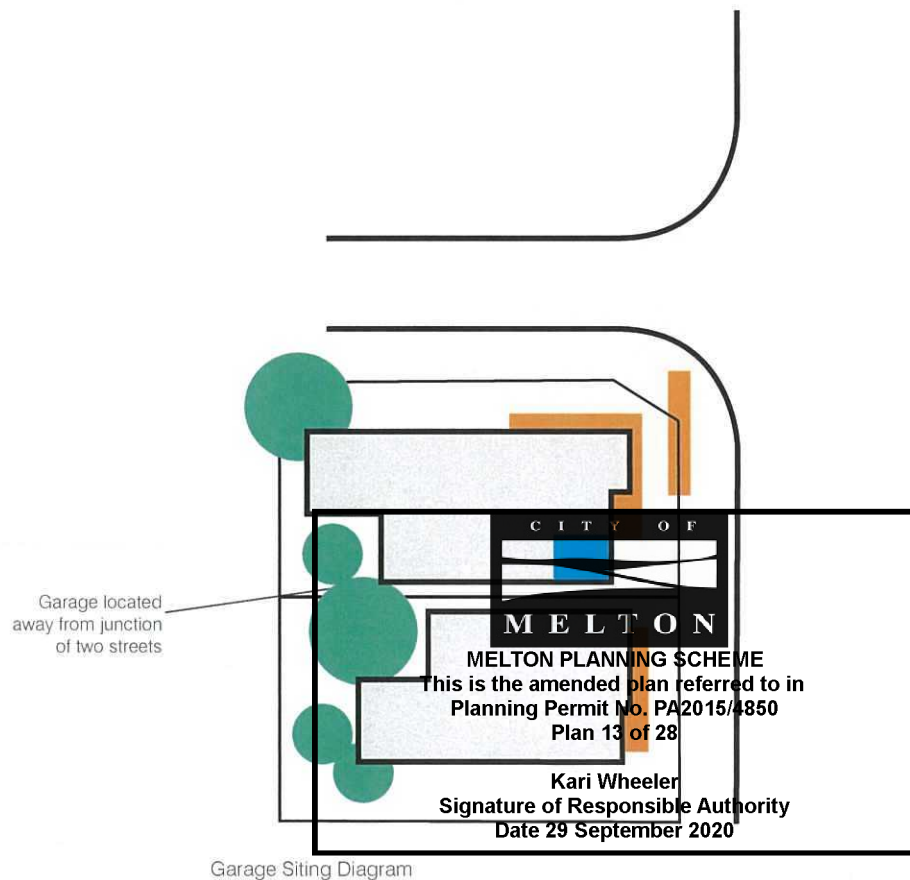


## 4.6 GARAGE SITING

1. Garages must be located behind the nearest front wall of the main dwelling (excluding the porch or veranda) and a minimum of 5.4m from the front boundary to provide for a car to be parked in front of the garage (Figure 1).
2. On corner allotments the garage must be located at the furthest point from the intersection of the streets.
3. On corner allotments where facing a secondary street the garage must be setback a minimum of 5.4m from the secondary street frontage.
4. Garages must be located adjacent to the lot boundary shared with another lot and are not permitted in locations adjacent to boundaries abutting public open space.



Figure 1

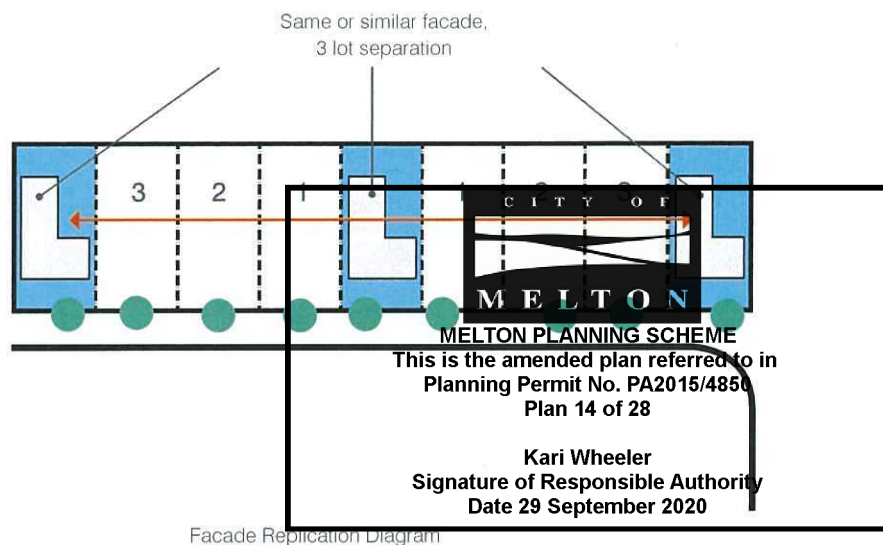


# 05 DWELLING DESIGN

Dwellings within the Estate will be to a high standard, contemporary in design and will provide a positive contribution to achieving a strong streetscape. Dwellings within the Estate will include the architectural elements of eaves, pitched roofs and considered mix of materials. Developments of limited palettes will not be approved.

## 5.1 FACADE REPLICATION

1. Repetition of facade design on adjoining or nearby lots is not permitted and the same facade must not be used within three contiguous lots of the subject lot on either side of the street.



## 5.2 BUILDING FORM AND ARTICULATION

1. Building elements will need to articulate facades to create a 'layered' effect that softens the overall streetscape, and delivers visual interest to the design. Articulated facades can be created by stepped front walls, differing materials, verandas and the setting back of the second storey (Figure 2a & 2b).
2. Articulated facades can be created through the use of porticos, verandahs, feature windows, facade detailing, stepped front walls, the setting back of the second storey and the use of differing materials and finishes.
3. Large areas of blank walls presenting to the street should be avoided.
4. Habitable rooms should be located on the primary facade to provide a clear view to the primary streetscape.
5. Where the dwelling incorporates a masonry facade, the window and door lintels and surrounds must be finished in the same masonry, and avoid the use of light-weight in fill panels. This applies to all sides of the building facade.
6. Articulate building facades along both primary and secondary frontages through the use of openings, balconies, variation of materials, recessed and projected elements on ground and upper floor. This will reduce the overall mass of buildings.
7. Garages should be setback from the front facade to limit impressions of garage dominance.
8. Corner dwellings must address both their primary and secondary street frontages through the use of wrap around verandahs, feature windowing and detailing etc.
9. Corner dwellings should include a habitable room with a clear view to secondary streetscapes. Materials and articulation treatments used on a corner dwelling's front facade should continue onto other facades facing the secondary streetscape.



Figure 2a



Figure 2b





### 5.3 MATERIALS AND COLOURS

1. A mixture of materials, colours and finishes are required for each dwelling (Figure 3).
2. Colours should generally be a blend of muted tones (Figure 4).
3. Limited use of strong or bold colours may receive approval of the developer where it emphasises contemporary dwelling design.
4. Details of all colours and materials will be approved as part of the design approval process.
5. External wall materials on dwellings must be articulated to create visual interest and compliment the wider streetscape.
6. All external walls must be constructed from a minimum of 75% face brick, brick or other approved textured coated material. At least 25% of the facade of the dwelling must be finished in a contrasting/feature element of a different texture, material or colour.
7. The use of materials such as natural stone, exposed timber or other feature cladding will be considered and is encouraged as a key design articulation element.
8. Homes in kit or modular form and the use of second hand materials will be subject to approval from the Design Review Panel and the City of Melton. New materials made up of recycled materials are permitted.
9. Unpainted and/or untreated metal work and reflective glazing is not permitted.
10. The use of infill fibre-cement sheet panels in locations above window and door openings that are visible from the street or public realm are not permitted. However fibre-cement sheeting is permitted if finished as either a textured, painted or rendered surface.



Figure 3



Figure 4

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Plan 16 of 28

**Kari Wheeler**  
Signature of Responsible Authority  
Date 29 September 2020

## 5.4 DWELLING SIZE

1. The size and proportion of the dwelling should consider the dimensions and size of the lot.

## 5.5 BUILDING HEIGHT

1. A maximum building height of 9m applies to double storey dwellings.
2. A maximum building height of 6m applies to single storey dwellings.
3. Building height is to be measured vertically from the natural ground level to the highest point of the roof.
4. Triple storey buildings and/or basements will only be permitted for split level dwellings, if they adhere to relevant height requirements. Basements may have a maximum projection of 1.2m.
5. Minimum ceiling height for dwellings is 2590mm unless otherwise approved by Design Review Panel.
6. All dwellings are required to ensure all ceiling and building heights comply with Clause 54 or 55 of the Melton Planning Scheme.

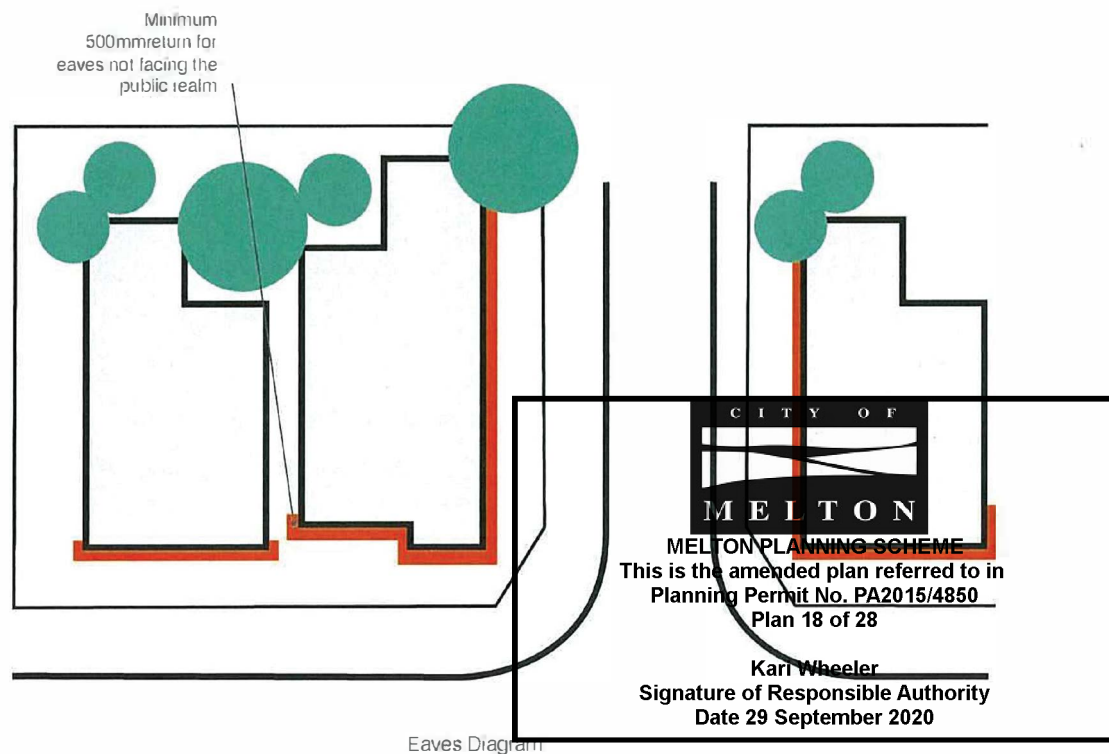


## 5.6 ROOFING

1. Roofing is an integral part of the architecture of your home. Roof forms should be pitched or skillion, and roof forms that use a combination of styles are encouraged for visual interest (Figure 5).
2. Pitched roofs must have a minimum pitch of 22 degrees and skillion and accent sections should have a minimum pitch of 16 degrees.
3. Eaves with a minimum 450mm overhang are required on all frontages viewed from the public realm, with a 500mm return on all sides not fronting the public realm (excepting any wall built on the boundary or within 200mm of the boundary).
4. Glazing facing within 20 degrees of north should be shaded using eaves and/or similar shading treatments.
5. Permitted roofing materials include terracotta tiles, matt finished non-reflective colorbond or a suitably appropriate material that is consistent with the neighbourhood character, determined appropriate at the discretion of the Design Review Panel.



Figure 5



## 5.7 PORCHES AND ENTRIES

1. Dwellings must incorporate an entry feature such as porch, portico or veranda that complements the dwelling and creates a sense of entry (Figure 6).
2. Main entries must address primary streets and provide overhead weather protection.
3. Pathways to front entrances must be clearly distinguished and identified from the adjoining street.



Figure 6

## 5.8 CORNER LOT AND ABUTTING PUBLIC OPEN SPACE LOT CHARACTERISTICS

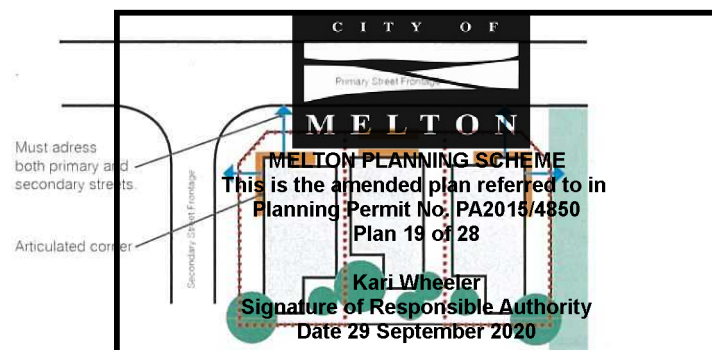
1. Visible walls facing a secondary street frontage must be articulated and detailed to the same standard as the front facade of the dwelling.
2. On corner lots and lots directly abutting public open space, visible walls within the secondary street frontage or from the abutting public open space must be articulated and detailed to the same standard as the front facade of the dwelling. Design solutions may include verandahs that extend across multiple frontages, feature windows, formwork or panels. Well-articulated architectural treatments should also be provided where built form is visible from the side fence line, and at upper levels (Figure 7).
3. Overall facade articulation and material variation is strongly encouraged. It will be at the discretion of the Design Review Panel to determine acceptable corner treatment for each corner lot submission (Figure 8).
4. Where the Design Review Panel considers that the dwelling does not properly address the street corner and both street frontages, additional treatments may be required to achieve approval.



Figure 7



Figure 8



Corner Lot Diagram

## 5.9 GARAGES

1. Garages should be incorporated into the main roofline of the dwelling and not present as a separate building element in the streetscape (Figure 9 and 10).
2. Where garages are located in the front of the dwelling, the door or opening of the garage should not occupy more than 40% of the street frontage.
3. Garages must be constructed from the same materials as the dwelling and must employ slim line sectional tilt or panel doors. Roller doors will only be permitted as an opening to a back yard and where not visible from the public realm.
4. Triple garages are not supported by these Guidelines.
5. Garages are not to protrude in front of the building line.
6. For lots with a frontage of 12.5m or greater and 14m or less, the maximum width allowable for the garage door is 5.5m. Lots with a frontage of 15m or greater may have a garage with a greater maximum width if it does not exceed 40% of the width of the lot.
7. For two storey dwellings, garages that exceed 40% of the width of the lot frontage are discouraged. Notwithstanding, they will only be permitted where balconies or windows are provided above the garage.
8. Each dwelling should have a single crossover, and the driveway should not exceed the width of the garage opening.
9. For corner dwellings, garages must not be located on the corner where the primary and secondary frontages meet.
10. For lots with frontages less than 8.5m that are not rear-loaded, refer to the Small Lot Housing Code incorporated into the Melton Planning Scheme.
11. For allotments with frontages 8.5m and less than 12.5m, and where the garage door is located at the front of the dwelling, the door or opening of a garage must not occupy more than 40% of the width of the street frontage. Garage openings on allotments with a frontage of 8.5m and less than 12.5m, may only exceed 40% of the allotment frontage on double storey dwellings, provided that balconies and windows above the garage are incorporated in the design.



Figure 9



Figure 10



# 06 LANDSCAPING, DRIVEWAYS AND FENCING

## 6.1 LANDSCAPING

1. Planting should enhance the architecture by providing form and texture (Figure 11).
2. The following should all be considered and implemented into the landscape concept plan:
  - ▶ A plant selection that minimises the need for garden watering
  - ▶ Specification of drought tolerant species
  - ▶ The feature of 2 semi-mature trees
  - ▶ Planting to side boundaries to continue 4m past the front of the house
3. A landscape concept plan, detailing front landscape treatments must be provided when the dwelling design is submitted to the Design Review Panel for approval.
4. Front gardens should be planted with a minimum of 1 canopy tree per standard residential lot frontage combined with lower scale planting. The canopy tree should have a minimum mature height of 4m.
5. Impermeable hard surface materials must not exceed 40% of the front garden area including the driveway and front path.
6. A minimum softscape area of 60% of the total front garden area is to be installed. The softscape should consist of turf, garden beds and permeable surface materials including decorative stone aggregate or pebbles. No more than 25% of the ground cover to be made of rock or like material.
7. At least 30% of the softscape area must consist of planted garden bed.
8. Avoid the use of prohibited invasive weed species (refer to City of Melton guidelines).



Figure 11



## 6.2 DRIVEWAYS

1. One crossover is provided for each lot which responds to the nominated crossover location (Figure 12).
2. Driveways shall not exceed the width of the garage openings and should be tapered to match the crossover width at the lot frontage.
3. Plain asphalt or concrete driveways will not be permitted. Driveways, pathways and porches in the front yard may be constructed from the following list of materials:
  - ▶ Coloured concrete
  - ▶ Textured finishes
  - ▶ Paving
  - ▶ Exposed aggregate
  - ▶ Stamp-crete
  - ▶ Colorbond roofing
4. Driveways must accommodate 500mm of screen planting between the driveway and the nearest adjacent side boundary.
5. Driveways must be fully constructed prior to the issue of the Occupancy Permit.



Figure 12



## 6.3 FENCING

1. Side and rear boundary fencing must be constructed from capped and lapped vertical timber with exposed timber posts (Figure 13).
2. Side boundary fences must return at 90 degrees to meet the dwelling or garage, and must finish and terminate at least 1.0m behind the front building line.
3. Fencing must be of a consistent type and must be shown on plans for approval.
4. No Colorbond fencing is permitted.
5. Side and rear fencing to have a maximum height of 1.8m.
6. Fencing from the front wall of the house to the street boundary is to have a maximum height of 1.2m.
7. Side street fencing along secondary street-scape frontages or open space areas must be setback a minimum 3.0m behind the nearest corner of the front facade.
8. Front fences constructed on corner allotments must return and extend to meet the side fence.
9. Fencing on secondary frontages is to be either capped and lapped vertical timber with exposed posts, or masonry peers with timber inlays.
10. Subject to approval, front fencing is permitted. It must be no more than 1.2m in height and largely transparent (i.e. 50% or more). Low masonry walls not exceeding 0.9m in height, which compliment the facade of the building will be permitted.



Figure 13





## 6.5 LETTER BOXES

1. Contemporary style letterboxes to match the dwelling style will be encouraged (Figure 15a, b & c).
2. Letterboxes should be designed to complement and match the dwelling, using similar materials, colours and finishes.
3. Single post supported letterboxes will not be permitted.



Figure 15a



Figure 15b



Figure 15c

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Kari Wheeler  
Signature of Responsible Authority  
Date 29 September 2020

# 07 SUSTAINABLE DESIGN

## 7.1 DWELLING SITING

1. Dwellings should take advantage of natural passive heating and cooling from sunlight, and orientate living areas to face north where possible. West facing bedrooms should be avoided.

## 7.2 RAIN TANKS

1. Rain water tanks are not to be located at the front of the dwelling or be visible from the street. The colour of the water tank must be consistent with the dwelling.

## 7.3 SOLAR HEATING PANELS

1. Where practical, panels are to be screened from public view and located on the roof and installed at the same pitch as the roof.
2. Tanks associated with solar panels are not permitted to be located on the roof.
3. The colour of solar heating panels and associated systems must be consistent with roof colour.

## 7.4 ACOUSTIC INSULATION

1. Minimum sound insulation treatments are encouraged, however not a mandatory requirement, to achieve the minimum internal sound levels specific in *AS 2021:2015*

## 7.5 RECYCLED WATER

1. Class A recycled water is to be provided to dwellings for use in toilet flushing, clothes washing, garden watering, car washing and other outdoor uses.

## 7.6 WATER EFFICIENCY

1. Water efficient features are to be installed including three star water efficient shower heads.



# 08 ADDITIONAL BUILDING AND ANCILLARY USES

## 8.1 OUTBUILDINGS

1. Sheds and any other outbuildings must be designed and constructed using colours and materials consistent with the dwelling.
2. Sheds are to be placed at the rear or side of the dwelling and must not be visible from the street.
3. Details of any additional outbuildings must be submitted to the developer for approval. This includes spas, patios, BBQs and carports.

## 8.2 PLUMBING

1. All external plumbing must be out of public view with the exception of gutters and downpipes.

## 8.3 TV ANTENNAE & SATELLITE DISHES

1. TV antennae and other antennae are generally to be contained within the roof space and not visible.
2. Where located externally on the roof these structures should be located out of public view.

## 8.4 AIR CONDITIONING UNITS

1. Air conditioning units are to be located below the ridgeline on roofs and screened from public view by locating the unit towards the rear of the property behind return fencing.

## 8.5 SECURITY SHUTTERS

1. Metal shutters on windows are not permitted within the Estate.



# APPENDIX - APPLICATION DESIGN APPROVAL FORM AND CHECKLIST

Lot No: \_\_\_\_\_

Street Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Owners Name: \_\_\_\_\_

\_\_\_\_\_

Mobile: \_\_\_\_\_

Email: \_\_\_\_\_

Current Postal Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Home Phone: \_\_\_\_\_

Business Phone: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Mobile: \_\_\_\_\_

Email: \_\_\_\_\_

Please submit the above documentation to:

Design Reviewer  
(Address Address)

[marlexdrp@gmail.com](mailto:marlexdrp@gmail.com)

## Documentation required to be submitted for approval to the Design Reviewer.

Note: All the items below to be provided in A3 format and in duplicate.

- Site Plan** (scale 1:200) indicating: date, reference number of drawing, north point, building envelope, lot area from all boundaries, outbuildings, crossover and driveway location, clothes line, letterbox, water tank and capacity, and pool position if applicable, extent of earthworks – cut and fill, retaining walls and batters.
- Floor plan/s** (scale 1:100) indicating: date, reference number of drawing, north point, dwelling area calculation indicating all rooms, windows, and external doors & dimensions, external fixtures and nominated floor levels, position of air conditioning, solar units, satellite dishes and locations of data points within the home along with the position of the ONT in the meter box for the fibre optic supply, and roof plans.
- All elevation plan/s** (scale 1:100) indicating: date, reference number of drawing, north point, all wall heights and external finishes including garage door type, roof pitch, eaves depth, air conditioning unit, solar units, water tanks and all external building such as garden sheds, pergolas, bbq's etc. Relevant cross sections showing height of walls on boundaries; cut and fill details, including retaining walls and driveways gradient where applicable should also be included.
- Landscape plan/s** (scale 1:100) indicating: date, reference number of drawing, north point, contours at 500mm intervals, proposed earth works, planting schedule inclusive of the minimum number of native trees to the front garden (refer to your lot size for requirements) boundary fencing, water tank/s retaining walls and materials including dimensions. Proposed driveways and paths materials and gradients, out buildings and pools if applicable. Decks, pergola's and other similar structure are to be included.
- Submission checklist** (this page from the design guidelines)
- Schedule** of external colours and materials; supply either a coloured photocopy or colour sample chips.
- Energy rating** for the dwelling.

CITY OF  
**MELTON**

**MELTON PLANNING SCHEME**  
This is the amended plan referred to in  
Planning Permit No. PA2015/4850  
Plan 27 of 28

**Kari Wheeler**  
Signature of Responsible Authority  
Date 29 September 2020